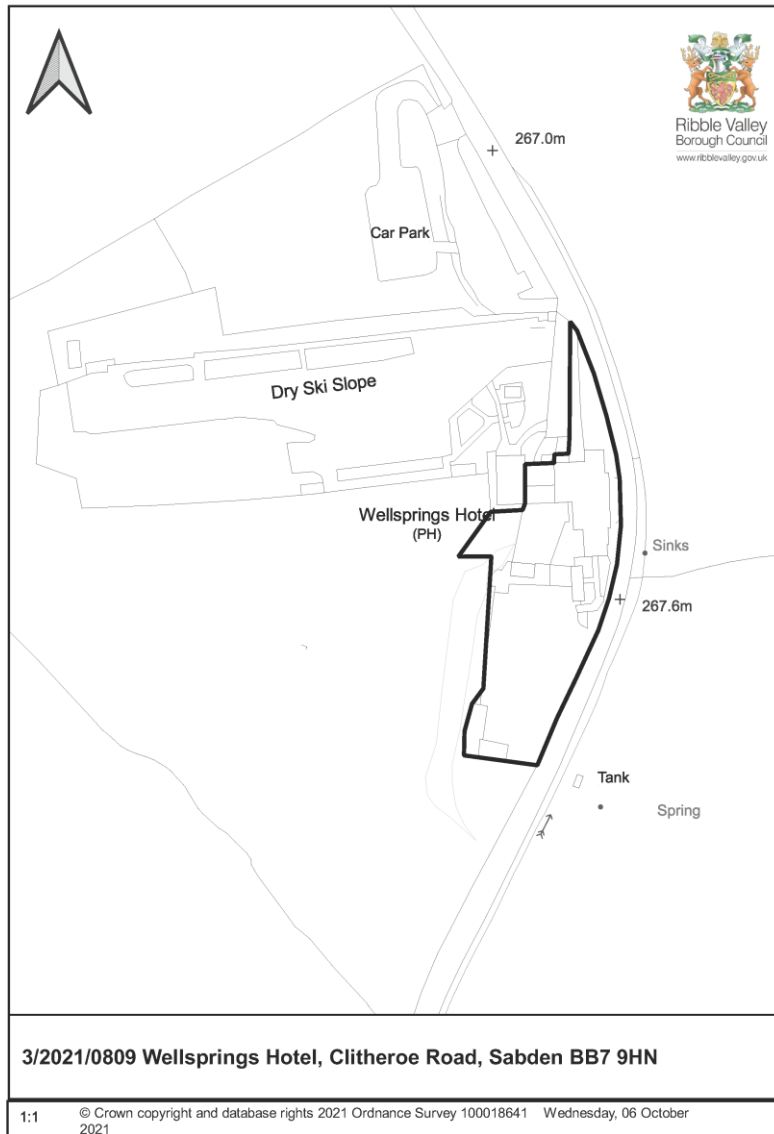


**APPLICATION REF:** 3/2021/0809

**GRID REF:** SD 377285 438978

**DEVELOPMENT DESCRIPTION:**

RETENTION OF UNAUTHORISED TIMBER CANOPY OVER AN EXISTING OUTDOOR SEATING AREA AT WELLSPRINGS HOTEL, CLITHEROE ROAD, SABDEN BB7 9HN



**CONSULTEE RESPONSES/ REPRESENTATIONS MADE:**

**PARISH COUNCIL:**

The Parish Council have no objection.

**ENVIRONMENT DIRECTORATE (COUNTY SURVEYOR):**

No objection.

## **AONB PARTNERSHIP:**

The development appears to stay below the roof line of the main building and could perhaps be considered an improvement on the existing flat roof.

## **ADDITIONAL REPRESENTATIONS:**

No representations have been received.

### **1. Site Description and Surrounding Area**

- 1.1 This application relates to the site of a long-established restaurant, The Wellsprings, which is located on the slopes of Pendle Hill near the Nick of Pendle. The site is located in the open countryside and designated AONB between Clitheroe and the village of Sabden. Adjacent to the restaurant building is Pendle Ski Club and dry ski slope.
- 1.2 The existing restaurant is a one-and-a-half storey, white rendered building, with a seating capacity for 200 guests and associated car parking. Historically the building has been an Inn and a hotel.
- 1.3 There is a network of public footpaths in the surrounding area which is popular with walkers.

### **2. Proposed Development for which consent is sought**

- 2.1 Planning consent is sought to regularise the erection of an external canopy which has been constructed to the rear of the building over an existing outdoor seating area.
- 2.2 The canopy has been constructed with a timber frame and a traditional pitched roof which is covered with clear uPVC sheeting. The addition of the canopy allowed the business to continue to operate during the pandemic and provides a sheltered outdoor dining area. There is direct access to the outdoor seating area from the main dining room.

### **3. Relevant Planning History**

3/2021/0254 - Proposed extension to create a one-bedroom holiday apartment and construction of two single storey one bedroom holiday let units with parking. Refused.

### **4. Relevant Policies**

#### **Ribble Valley Core Strategy:**

Key Statement EN2 – Landscape

Key Statement EC1 – Business and Employment Development

Key Statement EC3 – Visitor Economy

Key Statement DMI2 – Transport Considerations

Policy DMG1 – General Considerations

Policy DMG2 – Strategic Considerations

Policy DMG3 – Transport and Mobility

Policy DME2 – Landscape and Townscape Protection

Policy DMB1 – Supporting Business Growth and the Local Economy

## 5. **Assessment of Proposed Development**

### 5.1 **Principle of Development:**

5.1.1 Key Statement EC1 'Business and Employment Development states that "Developments that contribute to farm diversification, strengthening of the wider rural and village economies or that promote town centre vitality and viability will be supported in principle". Policy DMB1 is also relevant to the application given the proposals represent expansion of an existing business and is designed to maintain and support the existing use.

### 5.2 **Design and Visual Appearance:**

5.2.1 Whilst regard must be given to the economic and social wellbeing of the AONB, Policy DMG2 confirms that the most important consideration is the protection, conservation and enhancement of the landscape and character of the area. In the AONB development is required to be in keeping with the character of the landscape and acknowledge the special qualities of the AONB by virtue of its design, use of materials, landscaping and siting.

5.2.2 The proposals relate to a well-established group of buildings comprising the restaurant building, ski club clubhouse and associated paraphernalia. The proposed development would not therefore be isolated from other built form. The canopy is a subordinate addition to the existing restaurant building. Whilst it is located to the rear, it is still visible on approach from both directions when travelling along Clitheroe Road.

5.2.3 The most prominent views of the canopy are gained when travelling north towards Clitheroe. The existing group of buildings at the site are faced in a range of materials and different roof types including the concrete tiled, pitched roof of the main restaurant building and flat roofed ancillary structures. It is considered that the canopy addition has been constructed to a good standard and does not result in any adverse visual harm. It is experienced in the context of existing built form and does not result in any harm to the character of the area.

### 5.3 **Impact on the amenity of the area:**

5.3.1 It should be noted that external dining took place within the outdoor area prior to the erection of the canopy. The creation of a sheltered area is likely to result in extended periods of usage throughout the year but raises no concerns relating to issues of noise and disturbance. It is important to ensure however that any external lighting respects the character of the AONB and lighting at present is low level, domestic scale lamps.

### 5.4 **Highway Safety and Parking:**

5.4.1 The County Highways Officer has raised no objection. The external patio was used for dining prior to erection of the canopy and therefore capacity of the restaurant has not increased nor have the parking requirements for the site.

6. **Conclusion:**

- 6.1 In conclusion, the proposed development would support the existing business and would not result in any undue visual or landscape harm. Accordingly it is recommended that the application be approved subject to conditions.

**RECOMMENDATION:** That the application be APPROVED subject to the following conditions:

*Time limit, plans and details*

1. The development hereby permitted shall be carried out in complete accordance with the proposals as detailed on drawings:

6218 – Location Plan  
6218 – E01D Existing Site Plan  
6218 – E03 Existing Plans and Elevations  
6218 – P04B Proposed Plans and Elevations  
6218 – P06 Proposed Site Plan

REASON: For the avoidance of doubt and to clarify which plans are relevant to the consent.

2. No external lighting shall be fixed to the canopy hereby approved unless details of such lighting, including the intensity of illumination, have been first submitted to, and approved in writing by, the Local Planning Authority prior to first occupation/use of the site.

The external lighting shall be installed precisely in accordance with the approved details and thereby retained as such.

REASON: In order to ensure a satisfactory appearance in the interests of visual amenity.

**BACKGROUND PAPERS**

[https://www.ribblevalley.gov.uk/site/scripts/planx\\_details.php?appNumber=3%2F2021%2F0809](https://www.ribblevalley.gov.uk/site/scripts/planx_details.php?appNumber=3%2F2021%2F0809)